



Remedy Inspections LLC

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Inspection reference: 123 Main St. Any Town



Sample Inspection Report

123 Main St USA
Any Town NJ 07000

January 1, 2022



Prepared for:
New Home Buyer

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SAMPLE

Wednesday, January 26, 2022

New Home Buyer



Inspection Site

123 Main St USA
Any Town NJ 07000

Dear New Home Buyer:

At your request, a visual inspection of the above referenced property was conducted on Saturday, January 1, 2022. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion, expressed as a result of the inspection. The Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

REPORT SUMMARY

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, and had average maintenance over the years. Please read the entire Inspection Report, including the Standards of Practice, limitations and scope of Inspection, and Pre-Inspection Agreement carefully to fully assess the findings of the inspection.

Some items noted in the following report should receive eventual attention, but none of them affect the habitability of the house. Correction of items resulting from normal wear and tear is typically considered part of normal maintenance and upkeep.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,



Eric Mohlenhoff
Remedy Inspections LLC
Phone: 908.210.5816
Email: eric@remedyinspections.com

SCOPE & PURPOSE of a HOME INSPECTION

Inspection Guidelines

A home inspection is intended to assist in the evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the inspection date. The results of this home inspection are not intended to represent the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection.

A home inspection is not an insurance policy or warranty

The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. Home warranties can be purchased separately from insuring firms that provide this service. No warranty or guarantee is expressed or implied. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

A home inspection is visual and not destructive

The descriptions and observations in this report are based on a visual inspection of the structure. We inspect the aspects of the structure that can be viewed without dismantling, damaging, or disfiguring the structure and without moving furniture and interior furnishings. Areas that are concealed, hidden or inaccessible to view are not covered by this inspection. Some systems cannot be tested during this inspection as testing risks damaging the building. For example, overflow drains on bathtubs are generally not tested because if they were found to be leaking, they could damage the finishes below. Our procedures involve non-invasive investigation and non-destructive testing which will limit the scope of the inspection.

This is not an inspection for code compliance

The inspection report should not be construed as a compliance inspection of any governmental or non-governmental codes or regulations. During the construction process structures are inspected for code compliance by municipal inspectors. Framing is open at this time and conditions can be fully viewed. Framing is NOT open during inspections of finished homes, and this limits the inspection. All houses fall out of code compliance shortly after they are built, as the codes continually change. National codes are augmented at least every three years for all the varying disciplines. Municipalities can choose to adopt and phase in sections of the codes on their own timetables. There are generally no requirements to bring older homes into compliance unless substantial renovation is being done. Confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of the General Home Inspection. If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a code-compliance inspection with your municipality.

This is just our opinion

Construction techniques and standards vary. There is no one way to build a house or install a system in a house. The observations in this report are the opinions of the home inspector. Other inspectors and contractors are likely to have some differing opinions. You are welcome to seek opinions from other professionals.

The scope of this inspection

A home inspection is a limited, non-invasive examination of the condition of a home. The inspection is limited to the readily accessible and visible systems, equipment, and components of the home. The inspector will not dismantle and/or move equipment, systems, furniture, appliances, floor coverings, finished or fastened surfaces or



components, personal property or other items to conduct inspections or otherwise to expose concealed or inaccessible conditions. Any areas not accessible at the time of inspection will not be inspected. See N.J.Admin. Code § 13:40-15.16. A copy of the New Jersey Standards of Practice is noted below.

Houses built prior to 1978 have the potential of containing lead paint. The actual content of the paint on this structure can NOT be evaluated without special lead paint testing. If the house or any portion of the house was constructed prior to 1978 it is recommended to have the home tested for lead paint by a licensed lead paint specialist PRIOR to closing. Concerns regarding lead paint should be addressed with the local health department or the Consumer Product Safety Commission.

Any suggestions in this report for evaluation, repair or replacement should always be performed by a qualified professional or specialty tradesman dealing with that item or system. Items not found in this report are beyond the scope of this inspection and should not be considered inspected at this time. Please read the entire report for important details.

CONDO/TOWNHOUSE DISCLAIMER

In the event that this is a Condominium or Town House inspection it is a partial inspection and is performed on only those components that the buyer or homeowner is responsible for. It does not include the exterior components of the property, crawlspace or attic and all of the components contained therein as this is usually owned by the association and is not owned by the buyer or homeowner. It is up to the buyer to determine if any of these excluded areas are in fact the buyer's responsibility and if so, to notify the inspector so these areas can be inspected. Please note a different charge will apply should the buyer want these areas inspected. It also is not possible in some cases to inspect attic areas where a duplex unit exist and the buyer is purchasing the lower unit, or vice versa. Our company makes no representation as to the condition of these areas that were not inspected and are disclaimed. Any areas that are not the buyer or homeowners' responsibility and is inspected is for informational purposes only and we assume no liability.

HOME ORIENTATION

All references to orientation throughout the report are as if viewing the home from the front, street side.

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with generally accepted standard of practice, a copy of which is included below.

This Home inspection does not include confirmation of the presence of allergens of any type. Many types of allergens exist to which different people show widely varying levels of sensitivity. Testing for allergens requires a specialist inspection. The Inspector recommends that you have specialist testing performed if allergens are a concern to you. You should consider having tests performed if you expect those suffering from allergies, asthma, lung disease or who have compromised immune systems to be resent in the home.

Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

Security systems are NOT evaluated as part of a home inspection. Obtain all information from owner on use and specific codes for operation. Communication, entertainment, and other low voltage wiring is NOT evaluated as part of a home inspection. Review operation of all such wiring with the owner PRIOR to closing.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.



Should any disagreement or dispute arise because of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

The functionality of power source for and placement of smoke/fire/carbon monoxide detectors is not part of this inspection. Upon taking occupancy, proper operating and placement of smoke/fire/carbon monoxide detectors should be verified and batteries should be changed. These devices have a limited life span and should be replaced at a minimum every 10 years. If no smoke/fire/carbon monoxide detectors are installed, you should consider installation of battery operated or hardwired smoke/fire/carbon monoxide detectors in all recommended locations.

THE CLIENT MUST NOT EXPECT THE INSPECTOR TO SEE AND REPORT ON ITEMS THAT WERE NOT VISIBLE TO THE INSPECTOR AT THE TIME OF INSPECTION.

It should also be mentioned that inspectors do not enter any areas which in the Inspectors opinion posed a personal safety hazard. Conditions which may limit or prevent access include but are not limited to any of the following:

- Less than 36 inches of headroom.
- Unimpeded access
- Construction Debris, Trash & Stored Items
- Unsafe structural conditions.
- Suspected biological contamination of the crawlspace.
- Suspected chemical contamination of the crawlspace.
- Presence of pests (insects, reptiles, mammals)
- Hazardous electrical conditions
- All entrance hatches must have at least 24 inches of unobstructed vertical clearance and 30 inches of unobstructed horizontal clearance The point at which conditions represent a safety hazard is decided upon solely by the Inspector, entry or refusal of entry being completely at the Inspectors discretion.

ABOUT RATED ITEMS

OK = "Serviceable" - Item is functional and we did not observe conditions that would lead us to believe problems existed with this system or component. Some serviceable items may show wear and tear. Other conditions may be noted in the body of the report.

MM = "Marginal or Maintenance Recommended" - Item warrants attention or monitoring or has a limited remaining useful life expectancy, may require replacement in the not-too-distant future or requires periodic maintenance to ensure full functionality. Further evaluation or servicing may be needed by a qualified licensed contractor or specialty tradesman dealing with that item, system, or structure.

RR = "Action Required, Repair or Replace" - Item, component, or unit is not functioning as intended and needs repair or replacement by a qualified professional. This area also includes items that are noted as safety hazards. Further evaluation is needed by a qualified licensed contractor or specialty tradesman dealing with that item, system, or structure.

N/A = "Not Applicable" - Item was not or could not be inspected due to limited access, other obstructions or safety issues that prevented the inspector from viewing or evaluating the item. These items are disclaimed and therefore not included in the inspection.



GENERAL INFORMATION

Client & Site Information:

1.1 Inspection Date:
01/01/2022 2pm.

1.2 Client:
New Home Buyer

1.3 Inspection Site:
New Home Buyer
123 Main St USA
Anytown NJ 07000

1.4 People Present:
Buyers Agent, Purchaser,
Inspector.

Building Characteristics:

1.5 Building Style & Type:
1 family, Colonial.

1.6 Stories:
2

1.7 Space Below Grade:
Basement.

1.8 Water Source:
Public.

1.9 Sewage Disposal:
Public.

1.10 Utilities Status:
All utilities on.

Climatic Conditions:

1.11 Weather:
Clear.

1.12 Soil Conditions:
Damp.

1.13 Outside Temperature (F):
40-50.

REPORT LIMITATIONS

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Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and

information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

SITE

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Any such mention of these items is informational only and not to be construed as inspected.

Site:

Action Required	Maint Recommend	
2.1 Site Drainage:		
<input type="checkbox"/>	<input type="checkbox"/>	Functional - The lot appears to have adequate drainage to prevent water from ponding. There is a swale installed on both left and right sides to help divert surface water away from the house.
<input type="checkbox"/>	<input type="checkbox"/>	



2.2 Bushes and Shrubs Condition:		
<input type="checkbox"/>	<input type="checkbox"/>	Functional - The shrubs and/or bushes have a good appearance.
2.3 Trees Condition:		
<input type="checkbox"/>	<input type="checkbox"/>	Functional - The trees on the site all appear to be alive and in acceptable condition.

Paving Condition:

2.4 Driveway Paving Material:
Asphalt.

2.5 Driveway Condition:

The driveway surface material is in functional condition with only normal deterioration noted.



Action Required Maint Recommend

2.6 Walkways and Stoop Materials:

Concrete.

2.7 Walkway Condition:

The walkway surface material is in functional condition with only normal deterioration noted.



2.8 Entryway Stoop:

The entryway stoop is in functional condition.



Patio:

2.9 Patio Slab Materials:

Brick.



Action Required Maint Recommend
2.10 Slab Condition:

Attention Needed - The slab is in useable condition however there is evidence of ponding and it appears hydraulic pressure from the hill behind the house has caused the patio to become sloped toward the house. This presents an issue as water is flowing toward the foundation and not away. Recommend having the patio re-graded to drain away from the house by a qualified professional.



2.11 Patio Lighted:
 Yes.

2.12 Patio Cover Condition:
 The patio cover is functional.

Retaining Walls:

2.13 Location of Retaining Wall:
 Rear of house.

2.14 Materials Used:
 The retaining wall is made of stacked rock.

2.15 Condition of Wall and Materials Used:
 The retaining wall is in functional condition.



Action Required Maint Recommend
2.16 Water Drainage:

Attention Needed - As noted above the run-off water above the retaining wall needs to be redirected away from the patio and house.



Utility Services:

2.17 Water Source:
City.

2.18 Water Meter Location:
Basement level bedroom closet in front of house.

2.19 Electric Service:
Underground.

2.20 Fuel Source:

Natural gas is provided by a regulated service company or utility.

Gas Services:

2.21 Gas-fired Equipment Installed:

Furnace. Water heater. Range.

2.22 Location of Meter:

Right side of the house.



2.23 Type of Gas Supply:

Natural Gas.

FOUNDATION

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

Foundation:

3.1 Type of Foundation:

Utility Basement - Basement with foundation walls below grade tall enough to have living space and a finished floor.

Action Required Maint Recommend

3.2 Foundation Materials:

 Poured in place concrete, 8 inches or more thick.

3.3 Visible Portions of Exterior Foundation Walls:

 The exterior view of the foundation is limited to the portions visible above grade. Only about The exposed portions of the perimeter foundation walls appear to be adequate. Due to limited visibility, a portion of the foundation is blocked from view and is not covered by this inspection. of the foundation was visible.

3.4 Evidence of Recent Movement:

 No - There is no evidence of any recent movement.

Interior View of Basement:

3.5 Interior of Basement Percentage Finished Into Living Space:

Approximately 100% basement is finished into living space. The living space is approximately at grade level.



3.6 Basement Ceiling Exposed:

None - The ceiling on the lower level is completely finished off. As a result, there is no comment as to the condition of the framing that is not visible.

Action Required Maint Recommend

3.7 Sill Plates Percentage Visible:

None - The sills are not available for viewing. As a result of the limited visibility, there is no comment given as to the condition of the sill plates and the immediate surrounding area.

3.8 Percent Interior Foundation Wall Exposed:

There is limited visibility of the interior portion of the exterior walls due to wall coverings. There may be undesirable conditions in the wall that are hidden from view. Only the readily visible portions of the foundation walls are included as a part of this inspection. It would be necessary to perform a destructive or invasive inspection to verify the condition of the hidden areas.

3.9 Columns and Posts:

The inspector was unable to determine the type or condition of the supporting posts under the main beam as they are fully enclosed and concealed from view.

3.10 Main Beam:

The main beam is enclosed; therefore, it is impossible to determine its condition.

3.11 Basement Windows:

There are basement level windows. The windows as installed appear to be functional.



3.12 Interior Stairway Access From:

Laundry Room.

3.13 Staircase Condition:

Attention Needed - The underside of the stair case is not enclosed with fire rated drywall. This is a requirement in modern building standards in case of a fire. Recommend adding this protection. Consult a qualified professional to install.



ROOF & ATTIC

Although not required to, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method used to evaluate them. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including by not limited to solar systems, antennae, and lightning arrestors.

Roofing:

4.1 Type Roof:

Gable.

Action Required Maint Recommend

4.2 Roof Covering Materials:

Asphalt composition shingles. These consist of cellulose mat, asphalt impregnated with colored gravel on surface. Shingles are applied in horizontal rows. The roofing materials appear to be installed in an acceptable manner.

4.3 Condition of Roof Covering Material:

Good - The roof covering material is either new or near new, and it appears to be installed correctly.





Action Required Maint Recommend

4.4 Estimated Life Expectancy of Roof:

-

The roof covering material appears to have a remaining life expectancy of 10 years or more, assuming proper maintenance is completed as needed.

4.5 Means of Roof Inspection:

The roof edge was the location of the inspection of the roof covering along with viewing from the ground level and UAS drone.

4.6 Evidence of Leakage:

-

4.7 Roof Gutter System:

-

Attention Needed - The home is fully guttered. The gutter system on the roof edge appears to be functional and adequately sloped to carry the water to the downspouts, Some of the downspouts go into an underground system. I was unable to determine where they empty and if they are functional. Run-off water needs to flow away from the side of the house at least 6 feet. This will allow the run-off to get far enough away to not interfere with the foundation. Installation of downspout extensions would help carry the water further away from the foundation.



Attic & Ventilation:

4.8 Attic Access Location:

Hallway ceiling 2nd floor.

4.9 Attic Accessibility:

-

There is a pull down ladder installed.

4.10 Method of Inspection:

The attic cavity was inspected from the attic access only. Only the areas of the attic visible from the attic access way are included as a part of this inspection.

4.11 Roof Framing:

A rafter system is installed in the attic cavity to support the roof decking. The rafter spacing is 16 inch on center. The rafters system appears to be in functional condition.



Action Required Maint Recommend

4.12 Roof Framing Condition:

The roof framing appears to be in functional condition.

4.13 Roof Bracing:

The roof framing as installed seems adequate. On a high pitch roof, collar ties are used to help distribute the load factor on the exterior walls and used to stiffen the rafters. The collar ties appear functional.

4.14 Roof Decking:

4.15 Evidence of Leaks on Interior of Attic:

There is no evidence of current water leaks into the accessible attic spaces.

4.16 Ventilation Hi/Low:

There are ridge vents installed. There are soffit vents installed. There are gable end vents installed that allow adequate ventilation.



4.17 Insulation Clear of Sheathing:

There is at least 1 1/2 inches of clearance between the roof sheathing and the insulation.

4.18 Insulation Noted:

The attic insulation appears to be adequate and properly installed. The following type of insulation was noted in the attic: Fiberglass. Batts.

STRUCTURAL

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons.

Structural:

5.1 Exterior Siding Materials:

Siding materials consist of horizontal beveled wood siding.

Action Required Maint Recommend

5.2 Siding Condition:

Attention Needed - The majority of the siding is in serviceable condition. The exterior siding material on the right side of the house is in a condition that requires minor repair to prevent further deterioration. Paint is peeling and cracking from sun exposure. Recommend repairing and repainting by a qualified professional.



5.3 Trim Condition:

Attention Needed - The trim needs some minor repair to prevent further deterioration. Some portion of the trim on the rear of the house near the patio is deteriorated to the point that it needs replacement. Recommend repairing and repainting by a qualified professional.



5.4 Soffit/Eaves:

The soffit/eaves appear to be adequate and show only signs of normal wear.



Action Required Maint Recommend

5.5 Condition of Painted Surfaces:

The finish or exposed painted surfaces are functional.

5.6 Outside Entry Doors:

Attention Needed - The outside entry door from the garage is functional as noted from the exterior however door needs some minor adjustment or repair. The frame is rotted on the bottom where it has made contact with the ground. Recommend repairing and repainting by a qualified professional.



5.7 Windows Type:

Double Hung. Insulated glass windows.

5.8 Window Condition:

The window framing and glass are functional.

Deck, Porch or Balcony:

5.9 Structure Type:

Front porch.



Action Required Maint Recommend

5.10 Deck/Porch/Balcony Materials:

 There is concrete material used.

5.11 Deck, Porch, or Balcony Flooring Material:

 The decking is made of concrete and is designed for the surface water to run off of the open edge.

5.12 Supporting Posts:

 The supporting posts appear to be fully functional.

5.13 Stairs Condition:

 The steps are in useable condition.

5.14 Deck or Porch Railings:

 The railings as installed are functional.

Fireplace:

5.15 Location of Fireplace:

Living room, Family Room.



5.16 Type of Fireplace:

Metal Firebox - There is a masonry fireplace installed with a metal formed firebox.

5.17 Fireplace Fuel:

Living Room - Wood - The fireplace is designed to burn wood. Family Room - Gas - The fireplace is designed to use gas fuel only.

5.18 Firebox Condition:

 The firebox appears to be sound and useable in its current condition.

5.19 Damper Condition:

 Living Room - The flue damper appears to be functional and fully adjustable.
Attention Needed - Family Room. There is no damper clip installed. All fireplaces with a gas connection should have a clip installed that will allow a small airflow up the chimney.



Action Required Maint Recommend

5.20 Evidence of Drafting Problems:

5.21 Flue Condition from Firebox:

The inspection is limited to the visible portions of the fireplace flue. Drop light, mirrors, and smoke testing are not a part of the inspection. Visibility in the flue is limited to as little as 20 percent. If further investigation is necessary, a qualified professional chimney sweep is recommended.

5.22 Exterior Stack Material:

Brick.

5.23 Exterior Stack Condition:

The exterior stacks appear functional.



5.24 Chimney Cap or Crown:

Yes - There is a chimney cap. Chimney cap is made of masonry.

5.25 Rain Hat:

Yes - There is a metal rain hat installed. It will help keep rain from entering the flue.

5.26 Spark Arrestor:

Yes - There is a metal spark arrestor installed. In addition to preventing fires, it will also keep animals and birds out of the flue.

5.27 Chimney Height and Clearance:

Yes - The chimney installation appears to meet clearance requirements.

5.28 Flashing:

The installed flashing around the chimney stack appears to be functional.



Action Required Maint Recommend

5.29 Hearth Condition:

The hearth is fully functional. The hearth extends at least 16 inches in front of the firebox and extends at least 8 inches to either side.

5.30 Mantle:

Yes - There is a mantle installed. Yes - There is a mantle installed, and it meets the 12" minimum clearance above the firebox.

HEATING, VENTILATION & AIR CONDITIONING

The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. We perform a conscientious evaluation of the system, but we are not specialists.

Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

Air Conditioning- 1

6.1 Model/ Serial Number/ Size:

System is Evcon.
 Model #:GAW14L42C23SA
 Serial #:W2D0766059
 Date of Mfg: Sept 2020.



6.2 Type and Location:

A central air conditioning system is installed that uses a condenser and compressor located on the exterior of the house that pumps refrigerant to an evaporative coil located in either an air handler or furnace which then distributes the cooled air throughout the home using ductwork.



Action Required Maint Recommend

6.3 Unit Tested:

No - The air conditioning unit was not tested either due to ambient temperatures or because the unit was shut down. The inspector may not activate a unit that has been disconnected or does not activate using normal controls. The inspector may not activate a unit if the ambient temperature is below 65 degrees or below the temperature recommended by the manufacturer.

6.4 Insulation Wrap on the Suction Line:

Insulation wrap is functional, without significant damage.

6.5 Condenser Clear of Obstruction:

Looks good, fully functional.

6.6 Condenser Cabinet Level:

Cabinet is basically level.

6.7 Condensing Coil Condition:

-

The condensing coil appears to be clean, and no blockage was noted.

Action Required Maint Recommend

6.8 Service Disconnect:

-

The installed service disconnect is located within sight of the condensing coil cabinet and not more than 50 feet from the unit.



6.9 Condensate Line:

-

The condensate drain line appears to be adequately installed. Periodic checking to make sure that the line is clear will help to maintain the system.

6.10 Evidence of Maintenance:

-

Air Conditioning - 2

6.11 Model/ Serial Number/ Size:

System is Goodman Manufacturing brand.

Model #: GSC130361GD

Serial #: 1505323873

Date of Mfg: May 2015.



6.12 Type and Location:

A central air conditioning system is installed that uses a condenser and compressor located on the exterior of the house that pumps refrigerant to an evaporative coil located in either an air handler or furnace which then distributes the cooled air throughout the home using ductwork.



Action Required Maint Recommend

6.13 Unit Tested:

No - The air conditioning unit was not tested either due to ambient temperatures or because the unit was shut down. The inspector may not activate a unit that has been disconnected or does not activate using normal controls. The inspector may not activate a unit if the ambient temperature is below 65 degrees or below the temperature recommended by the manufacturer.

6.14 Insulation Wrap on the Suction Line:

Insulation wrap is functional, without significant damage.

6.15 Condenser Clear of Obstruction:

Looks good, fully functional.

6.16 Condenser Cabinet Level:

Cabinet is basically level.

6.17 Condensing Coil Condition:

The condensing coil appears to be clean, and no blockage was noted.

6.18 Service Disconnect:

The installed service disconnect is located within sight of the condensing coil cabinet and not more than 50 feet from the unit.



Action Required Maint Recommend
6.19 Evidence of Maintenance:

Heating Plant - 1

6.20 Heating System Type:

A forced air furnace is installed as the primary source of heat. The furnace is a newer high efficiency type with a fan installed in the vent pipe to push the burnt flue gases up and out the flue. This furnace served the first/main floor of the house.

6.21 Heating System Location:

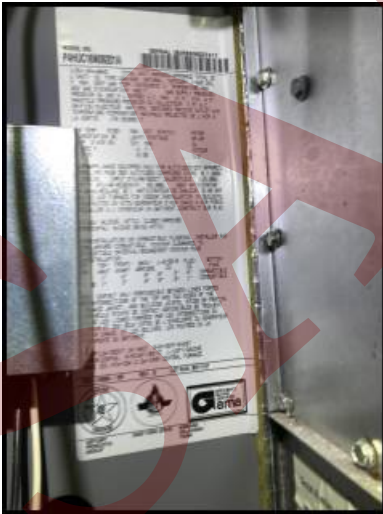
Basement.

6.22 Fuel Source:

Natural Gas.

6.23 Equipment Description:

System is York brand.
Model #: P4HUC16N0920TAA
Serial #: EBLM037417
Date of Mfg: Feb 2001.



6.24 Approximate Age:

The typical service life for a forced air natural gas furnace is 18 - 20 years. Although operational at the time of the inspection, the age and/or condition of this unit is such that you may need to replace it in the near future.

Action Required Maint Recommend

6.25 Flues, Vents, Plenum:

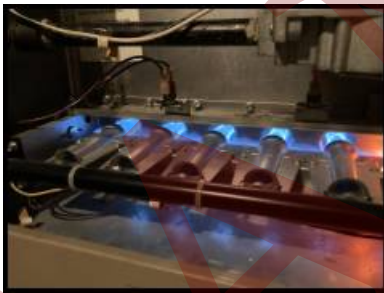
The visible portions of the flue/vent system appear to be installed correctly and appear to be functional. The flue pipe is metal.

6.26 General Operation & Cabinet:

Unit was operational at the time of inspection. General condition appears serviceable.

**6.27 Burners / Heat Exchangers:**

The burners and heat exchanger appear to be in serviceable condition and were operating normally during the inspection. Burner Flame(s) appear typical.

**6.28 Pump / Blower Fan:** **6.29 Humidifier Installed:**

Yes, there is a humidifier installed. If functioning properly, it can add comfort to the home during the heating season. The scope of this inspection does not include determining if the unit is operational since activation is humidity controlled. Most units will require service annually.



Action Required Maint Recommend

6.30 Electric Baseboard Heat:

There is electric baseboard heating strips installed in the basement main room and side room. They appear to be correctly installed and functional.



Heating Plant - 2

6.31 Heating System Type:

A forced air furnace is installed as the primary source of heat. The furnace is a newer high efficiency type with a fan installed in the vent pipe to push the burnt flue gases up and out the flue. This furnace served the second/supper floor of the house.

6.32 Heating System Location:

Basement.

6.33 Fuel Source:

Natural Gas.

6.34 Equipment Description:

System is York brand.
Model #: P4HUB16N06401A
Serial #: EAKM009953
Date of Mfg: Jan 2001.



Action Required Maint Recommend

6.35 Approximate Age:

The typical service life for a forced air natural gas furnace is 18 - 20 years. Although operational at the time of the inspection, the age and/or condition of this unit is such that you may need to replace it in the near future.

6.36 Flues, Vents, Plenum:

The visible portions of the flue/vent system appear to be installed correctly and appear to be functional. The flue pipe is metal.

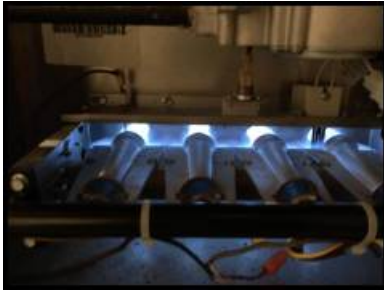
6.37 General Operation & Cabinet:

Unit was operational at the time of inspection. General condition appears serviceable.



6.38 Burners / Heat Exchangers:

The burners and heat exchanger appear to be in serviceable condition and were operating normally during the inspection.



Action Required Maint Recommend

6.39 Pump / Blower Fan:

6.40 Ducts Condition:

6.41 Humidifier Installed:

Yes, there is a humidifier installed. If functioning properly, it can add comfort to the home during the heating season. The scope of this inspection does not include determining if the unit is operational since activation is humidity controlled. Most units will require service annually.



Chimney:

6.42 Location of Chimney:

Center of house.

6.43 Type of Chimney:

The chimney is primarily built of metal such as steel or an alloy.



Action Required Maint Recommend

6.44 Evidence of Drafting Problems:

No evidence of drafting problems were noted.

6.45 Flue Condition from Vent Connector

6.46 Flue Condition From Roof:

The chimney flue was not checked from the top side. The inspector did not climb on to the roof, could not get to the chimney top or the chimney top has a rain hat/spark arrester and interior viewing is not possible. It is recommended that a qualified chimney professional conduct a level 2 inspection of the chimney prior to closing.

6.47 Exterior Stack Material:

The exterior fireplace stack material is made of metal.

6.48 Exterior Stack Condition:

The exterior stack appears functional.

6.49 Chimney Cap or Crown:

Yes - There is a chimney cap. Chimney cap is made of metal.

6.50 Rain Hat:

Yes - There is a metal rain hat installed. It will help keep rain from entering the flue.

6.51 Chimney Height and Clearance:

Yes - The chimney installation appears to meet clearance requirements.

6.52 Flashing:

The installed flashing around the chimney stack appears to be functional.

ELECTRICAL SYSTEMS

We are not electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

Service:

Action Required Maint Recommend

7.1 Type & Condition:

Underground.



7.2 Main Service Ground Verified:

Yes - The main service ground wire was located by the inspector. Grounding provided by connection to metallic water pipe.



Electrical Distribution Panels:

Action Required	Maint Recommend
-----------------	-----------------

7.3 Main Panel Location:

Garage.



7.4 Panel Accessibility:

Yes - The electrical panel is in a location that makes it readily accessible.

7.5 Panel Cover Removed:

7.6 Main Circuit Rating:

200 amp - The ampacity of the main power panel appears to be more than adequate for the structure as presently used with room for expansion.

7.7 Entrance Cable Size:

4/0 Aluminum.



Action Required Maint Recommend

7.8 Disconnect:

Located at the top of main panel.

7.9 Main Panel Devices:

Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off, it can easily be reset. Caution: If a breaker is reset and trips back off, this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

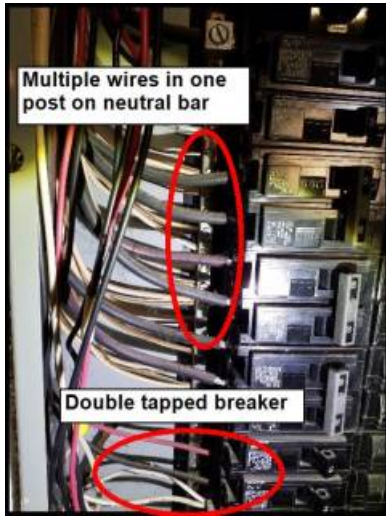
7.10 Breaker/Fuse to Wire Compatibility:

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

7.11 Main Panel Observations:

Action Necessary - Damage/defects noted, Double Taps - this condition is where multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected. The risk of a poor connection is greater here. Multiple wires are joined into single posts on the neutral bus bar. It is recommended that a licensed electrician evaluates and/or repair the panel deficiencies noted above prior to the end of your inspection date.





Conductors:

Action Required Maint Recommend

7.12 Feeder and Circuit Wiring:

Copper - The structure is wired using plastic insulated copper single conductor cables commonly referred to as Romex.

7.13 Wire Protection/Routing:

Visible wiring appears to be installed in an acceptable manner.

Switches & Fixtures:

7.14 General:

A representative sampling of switches was tested. As a whole, switches throughout the home are in serviceable condition.

Electrical Outlets:

7.15 General:

A representative sampling of outlets was tested. As a whole, outlets throughout the home are in serviceable condition.

7.16 Ground Fault Protected Outlets:

GFCI outlets are found at all locations needed - This structure is adequately protected by using Ground Fault Circuit Interrupt outlets at all locations within 6' of a water source and any of these locations: all outside outlets, in the garage, and in an unfinished basement. Ground fault protection is provided by use of interrupt resets at the outlets rather than the main panel.

7.17 Bedroom #2:

Functional - The outlets tested in this room are correctly wired and grounded.



Action Required Maint Recommend
7.18 Bedroom #3:

Functional - The outlets tested in this room are correctly wired and grounded.



7.19 Living Room:

Functional - The outlets tested in this room are correctly wired and grounded.



7.20 Dining Room:

Functional - The outlets tested in this room are correctly wired and grounded.



Action Required Maint Recommend

7.21 Family Room:

Functional - The outlets tested in this room are correctly wired and grounded.

7.22 Study/Den:

Functional - The outlets tested in this room are correctly wired and grounded.

Other Electrical Circuitry:

7.23 Exterior Lighting:

Attention Needed - Some portion of the exterior security lighting is not functioning as intended. This light fixture on the right side near the exterior garage door is not mounted correctly. This poses a risk of electric shock. Recommend having a licensed electrician evaluate and correct the condition.



Electrical Service:

7.24 Patio:

Yes. The outlet is Ground Fault Circuit Interrupt protected.



Action Required Maint Recommend

7.25 Interior View of Basement:

-

The electrical outlets in the basement level tested as correctly grounded.

7.26 Garage:

-

The electrical outlets in the garage tested as correctly grounded. The garage electrical outlets, except for dedicated circuits, are protected with Ground Fault Circuit Interrupt protection as required by current standards.



Electric Service Condition:

7.27 Utility Services:

-

The underground service appears adequate.

Ground Fault Interrupt Outlets:

7.28 Master Bathroom:

-

There is a functional Ground Fault Circuit Interrupt outlet installed in the area of the bathroom vanity.

7.29 Bathroom #2:

-

There is a functional Ground Fault Circuit Interrupt outlet installed in the area of the bathroom vanity.



Action Required Maint Recommend
7.30 Bathroom #3:

There is a functional Ground Fault Circuit Interrupt outlet installed in the area of the bathroom vanity.

Light Switch:

- 7.31 Master Bathroom:**
The light switch is functional.
- 7.32 Bathroom #2:**
The light switch is functional.
- 7.33 Bathroom #3:**
The light switch is functional.

PLUMBING SYSTEM

Plumbing:

- 8.1 Water Source:**
 City/Municipal.
- 8.2 Plumbing Service Piping Size to Structure:**
 1" water service line from the meter to the main cutoff.
- 8.3 Public Service Piping Material:**
 The main service line to the structure is copper.



Action Required Maint Recommend
8.4 Main Water Line Cutoff Location:

-

Basement level front left wall.



8.5 Visible Mineral Deposits or Encrustations:

-

8.6 Interior Supply Piping Size:

-

8.7 Interior Supply Piping Material:

-

The interior supply piping in the structure is predominantly copper.

8.8 Exterior Hose Bibs Functional:

-

The exterior hose bib(s) appeared to function normally. The external hose bibs are frostproof. Do not leave garden hoses connected to hose bibs when freezing temperatures are possible. Damage to the valve or piping could result.



Action Required Maint Recommend

8.9 Functional Supply:

By testing multiple fixtures at one time, functional flow of the water supply was verified.

8.10 Leaks in the Supply Piping Noted:

No leaks were observed at the time of the inspection.

8.11 Sewage Disposal Type:

Public Sewer System.

8.12 Waste Line Materials

The predominant waste line material is plastic.

8.13 Waste Piping Condition:

The visible plumbing waste piping appears functional.



8.14 Vent Piping Material

The vent material, as it passes through the roof, is plastic.

8.15 Vent Piping Condition:

Attention Needed - Some portion of the visible plumbing vent stack needs attention. The plumbing stack vent does not protrude a minimum of 12" above the roof surface. This condition may allow snow and ice to block the top of the vent, thereby not allowing the plumbing to drain properly. Recommend this condition be corrected by a licensed plumber prior to closing.



Action Required Maint Recommend

8.16 Supply/Waste Piping Supports:

8.17 Functional Drainage:

8.18 Sewage Pump Installed:

Yes - Functional drainage has been verified. Water drained from a random sample of fixtures or drains flows at a rate faster than was supplied.

Yes - There is a sewage pump installed in the basement utility room. This is needed either because of elevation of lowest fixture in relation to the sewer line or because of the distance to the sewage main. This unit requires periodic maintenance and should be connected to an alarm to warn of failure. The pump appeared to function at the time of the inspection.



8.19 Sump Pump:

Yes - The sump pump installed is functional. The presence of a sump pump does not indicate there is a need for it. This inspection does not verify the existence of or effectiveness of any subslab or perimeter drainage system. There is a submersible type sump pump installed. There is a battery backup installed. This will be of benefit should the electric fail, especially during a rainstorm.



Action Required Maint Recommend
8.20 Sump Pump Drain Line:

Action Necessary - The drainage line from the sump pump is installed in such a manner that water is not carried far enough away from the structure. The drain goes into an underground system. I was unable to determine where it discharges and if it is functional. Water needs to flow away from the side of the house at least 6-10ft feet.



Water Heater - 1

8.21 Location:
Basement utility room.



8.22 Model/ Serial Number/ Size:

System is Bradford White.
 Model #: RG275H6N
 Serial #: WE45184622
 Date of Mfg: May 2020.



8.23 Tank Capacity:

75 gallon.

8.24 Fuel Source for Water Heater:

The water heater is gas-fired.

Action Required Maint Recommend

8.25 Exposed Water Heater Condition:

It shows some age, but it appears sound.

8.26 Drip Leg Installed for Natural Gas-Fired Unit:

Yes - There is a drip leg installed on the incoming gas line to the water heater.

8.27 Gas Valve:

There is a gas valve cutoff installed adjacent to the hot water tank.

8.28 Flue/Exhaust Pipe Condition:

-

The exhaust flue appears to be correctly installed.



Action Required Maint Recommend

8.29 Water Piping Condition:

-

8.30 Temperature Controls:

-

8.31 Temperature & Pressure Relief Valve:

-

The temperature and pressure relief valve is of the correct rating for the water heater.



8.32 Safety Overflow Pipe:

-

The overflow pipe is correctly installed.

KITCHEN

Kitchen Plumbing:

9.1 Faucet and Supply Lines:

-

Faucets and supply lines appear functional with no leaks noted.



Action Required Maint Recommend
9.2 Sink and Drain Lines:

The sink and drainage lines appear to be functional.



9.3 Caulking Water Contact Areas:

Kitchen Appliances:

9.4 Food Waste Disposal:

System is Badger. The food waste disposal appears to be functional. No food was ground up in this inspection. The inspector was unable to determine if the unit will grind food waste adequately.



9.5 Dishwasher:

System is KitchenAid. The dishwasher appears to be functional. The dishwasher was tested on one cycle, and it appeared to function normally. This dishwasher is a multi-cycle unit, but only one cycle was tested. This does not imply that the other cycles also work, nor does it imply that the dishwasher will clean the dishes to your requirements.



Action Required
9.6 Range Hood:

Maint Recommend

The exhaust hood is directly vented to the exterior of the structure. The range hood and exhaust fan appeared to work correctly on one or both speeds. There is a filter installed, and it will require periodic cleaning.



9.7 Range/Oven Fuel Source:

Gas - There is a gas line installed for a range. Ovens are electric.



9.8 Range/Oven:

System is KitchenAid, The range/oven appears to be functional. No food was heated up during this inspection. The inspector makes no attempt to determine if the unit has accurate temperature controls.



Kitchen Interior

Action Required Maint Recommend

9.9 Outside Entry Door:

The outside entry door to the kitchen is functional. There is an operational deadbolt installed on the entry door. This is a recommended safety feature.



9.10 Countertops:

The countertops in the kitchen are functional.

9.11 Cabinets, Drawers, and Doors:

Good - The cabinets in this kitchen are of a better quality than expected.

LAUNDRY

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned. See Plumbing and Electrical pages for more details about those types of system components.

Laundry:

10.1 Location:

Next to Kitchen.



Action Required Maint Recommend

10.2 Entry Door:

The entry door to the laundry room is functional.

10.3 Washer & Dryer

A washer and dryer are installed. Testing of either is not included as a part of this inspection.

10.4 Washer Hookup:

Yes, There is a connection box installed in the wall with both hot and cold water and a drain pipe. The drain pipe was not flood tested.



10.5 Dryer Hookup:

Yes - There is a 220/240-volt outlet provided for an electric dryer. If you intend to use a gas clothes dryer, you will need to have a gas line installed.



10.6 Dryer Ventilation:

The dryer ventilation as installed appears adequate. The vent hood outside is clean, and the flapper is functional.



Action Required Maint Recommend

10.7 Laundry Basin:

Yes - There is a laundry basin installed. The unit is functional. No leaks were noted.



BATHROOMS

In accordance with industry standards of practice, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

Our inspection of interior areas includes the visually accessible areas of walls, floors, cabinets and closets, and a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies.

Master Bathroom:

11.1 Vanity Cabinet:

The vanity cabinet and top in this bathroom are functional.



11.2 Basin and Drain Fixture:

The basin and drainage fixture appear to be fully functional.



Action Required Maint Recommend

11.3 Faucet and Supply Lines:

Faucets and supply lines appear functional.



11.4 Toilet Condition

The toilet appears to be functional.



Action Required Maint Recommend
11.5 Tub:

There is a spa tub installed. The tub was filled with water and the jets activated to observe for proper action. The tub appeared to function properly.



11.6 Shower/Shower Head and Mixing Valves:

Functional - The shower, shower head, and mixing valves are all performing as required.



11.7 Shower Pan:

-

The shower pan does not appear to leak at this time. Disclaim - This is a visual inspection of the readily accessible portions of the shower stall and was not invasive. Therefore, it is a limited inspection and may not have noted any hidden defects. Flood testing of the shower pan was not included as part of this inspection.



Action Required Maint Recommend

11.8 Tub & Shower Walls:

-

The walls appear to be in functional condition.



11.9 Tub/Shower Drain:

-

Functional - The tub/shower appears to drain at an acceptable rate.

11.10 Glass Tub/Shower Door:

-

Shower Yes - The shower stall has a glass door installed. The glass appears to be safety glass.

11.11 Caulking/Water Contact Areas:

-

The caulking in the water contact areas appears to be functional.

11.12 Heat Source:

-

Functional - There is a heat source in this room.

11.13 Entry Door:

The entry door to the bathroom is functional.

Bathroom #2:

Action Required

Maint Recommend

11.14 Vanity Cabinet:

The vanity cabinet and top in this bathroom are functional.



11.15 Basin and Drain Fixture:

The basin and drainage fixture appear to be fully functional.



11.16 Faucet and Supply Lines:

Faucets and supply lines appear functional.



Action Required Maint Recommend

11.17 Toilet Condition

The toilet appears to be functional.



11.18 Tub:



11.19 Tub Mixing Valve & Stopper:

The tub mixing valve and the tub unit are in functional condition.

11.20 Shower/Shower Head and Mixing Valves:

Functional - The shower, shower head, and mixing valves are all performing as required.



Action Required Maint Recommend
11.21 Tub & Shower Walls:

The walls appear to be in functional condition.



11.22 Tub/Shower Drain:

Functional - The tub/shower appears to drain at an acceptable rate.

11.23 Caulking/Water Contact Areas:

The caulking in the water contact areas appears to be functional.

11.24 Heat Source:

Functional - There is a heat source in this room.

11.25 Entry Door:

The entry door to the bathroom is functional.

11.26 Floor:



Action Required Maint Recommend

11.27 Ventilation Fans:

There is an exhaust fan installed in this bathroom, and it is functional.



Bathroom #3:

11.28 Vanity Cabinet:

The vanity cabinet and top in this bathroom are functional.



Action Required Maint Recommend
11.29 Basin and Drain Fixture:

The basin and drainage fixture appear to be fully functional.



11.30 Faucet and Supply Lines:

Faucets and supply lines appear functional.



11.31 Toilet Condition

The toilet appears to be functional.



Action Required Maint Recommend

11.32 Shower/Shower Head and Mixing Valves:

Functional - The shower, shower head, and mixing valves are all performing as required.



11.33 Shower Pan:

The shower pan does not appear to leak at this time. Disclaim - This is a visual inspection of the readily accessible portions of the shower stall and was not invasive. Therefore, it is a limited inspection and may not have noted any hidden defects. Flood testing of the shower pan was not included as part of this inspection.



11.34 Tub & Shower Walls:

The walls appear to be in functional condition.



Action Required Maint Recommend

11.35 Tub/Shower Drain:

Functional - The tub/shower appears to drain at an acceptable rate.

11.36 Glass Tub/Shower Door:

Yes, Safety Glass? - There is a set of sliding glass doors installed. I was not able to determine if they are made of safety glass.



11.37 Caulking/Water Contact Areas:

The caulking in the water contact areas appears to be functional.

11.38 Heat Source:

Functional - There is a heat source in this room.

11.39 Entry Door:

The entry door to the bathroom is functional.

11.40 Ventilation Fans:

There is an exhaust fan installed in this bathroom, and it is functional.

BEDROOMS

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

Master Bedroom:

Action Required	Maint Recommend
-----------------	-----------------

12.1 Entry Door:

The entry door to this bedroom is functional.



12.2 Closet:

The closet is functional and of average size.



Action Required Maint Recommend

12.3 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

Bedroom #2:

12.4 Entry Door:

The entry door to this bedroom is functional.

12.5 Closet:

The closet is functional and of average size.



12.6 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

Bedroom #3:

12.7 Entry Door:

The entry door to this bedroom is functional.

12.8 Closet:

The closet is functional and of average size.



Action Required Maint Recommend

12.9 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

OTHER LIVING SPACES

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

Front Entry & Main Hallway:

13.1 Front Entry Door:

The main entry door to the structure is in functional condition. There is a deadbolt installed on the main entry door, and it is operational. This is a recommended safety feature.



Action Required Maint Recommend

13.2 Screen/Storm Door:

There is a combination storm and screen door installed, and it was functional at the time of inspection.

13.3 Entry Floor:

The entry floor material appearance is good and material is functional. The floor covering material is wood.



13.4 Main Hallway:

The main hallway walls and floor are without significant issues.



Action Required Maint Recommend

13.5 Main Staircase:

Attention Needed - Some portion of the main stairway needs attention. Newel post needs tightening. It is loose.



13.6 Upper Level Hallway:

The upper level hallway walls and floor are without significant issues.



Living Room:

Action Required	Maint Recommend
13.7 Windows:	
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Attention Needed - At least one window or associated hardware in this room needs attention. The window sash is showing evidence of rot in the upper corner. While dry at the time of the inspection this sash should be replaced.



13.8 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

13.9 Fireplace:

Yes - There is a fireplace in this room. It has a satisfactory visual appearance. An inspection was completed on the fireplace. It is under the Structural Section.

Dining Room:

13.10 Walls:

The walls in the room appear to be functional.



Action Required Maint Recommend

13.11 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

Family Room:

13.12 Walls:

The walls in the room appear to be functional.



13.13 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

Study/Den:

13.14 Entry Door:

The entry door to this bedroom is functional.



Action Required Maint Recommend
13.15 Closet:

The closet is functional and of average size.



13.16 Heat Source Noted:

There is a heat source to this room. There is no comment as to the amount of air or temperature coming from the supply vent.

GARAGE

Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is not uncommon for moisture to penetrate garages, particularly with slabs on-grade construction, and this may be apparent in the form of efflorescence or salt crystal formations on the concrete. You may want to have any living space above the garage evaluated further by a structural engineer, as it may be seismically vulnerable.

Garage:

14.1 Garage Type

The garage is attached.

14.2 Size of Garage:

Two car garage.

14.3 Number of Overhead Doors

There is a single overhead door. The doors are made of either solid wood or wood fiber.



Action Required Maint Recommend

14.4 Overhead Door and Hardware Condition:

The overhead door is in satisfactory condition, and it is functional. There is a safety wire installed that will prevent the springs from swinging free when they fail. That could cause damage or injury.



14.5 Automatic Overhead Door Opener:

The overhead door opener appears to function appropriately.



14.6 Safety Reverse Switch on the Automatic Opener:

Yes - The door opener is equipped with an automatic reverse safety switch.

14.7 Fire Rated Ceiling:

-

Yes - There appears to be a fire rated separation between the garage ceiling and the living areas above.



Action Required Maint Recommend

14.8 Fire Rated Entry Door to Structure:

-

Yes - There is a fire rated door separating the garage from the living areas of the house.



14.9 Garage Foundation:

-

The visible portions of the foundation under the garage appear to be functional.

14.10 Posts Condition:

-

There is a post supporting an overhead beam in the garage. It appears to be adequately installed.



HEATING - AIR CONDITIONING

Heat Source:

Action Required Maint Recommend

15.1 Kitchen Appliances:

There is a heat source in the kitchen. There is no comment as to the amount of air or temperature coming from the supply vent.

ELECTRICAL SYSTEM

Electrical Outlets:

16.1 Kitchen Interior

The outlets tested in the kitchen are correctly wired and grounded. As a whole, outlets throughout the room are in serviceable condition. There is a Ground Fault Circuit Interrupt outlet installed and functional above the kitchen countertop. It is in the area within a 6 foot reach of the sink.



STANDARDS OF PRACTICE

Your inspector Eric Mohlenhoff is proud to conduct your inspection in accordance with the Standards of Practice of:

NEW JERSEY REGISTER
VOLUME 34, NUMBER 11
RULE ADOPTION
LAW AND PUBLIC SAFETY
DIVISION OF CONSUMER AFFAIRS
STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS
HOME INSPECTION ADVISORY COMMITTEE

Federal Standards Statement

A Federal standards analysis is not required for the adopted new rules because the subject matter is not subject to Federal standards.

SUBCHAPTER 15. HOME INSPECTION ADVISORY COMMITTEE NJ ADC 13:40-15.16

13:40-15.16 Standards of practice

- (a) All licensees shall comply with the standards of practice contained in this section when conducting home inspections. The scope of home inspection services performed in compliance with the standards set forth in this section shall provide the client with objective information regarding the condition of the systems and components of the home as determined at the time of the home inspection.
- (b) Nothing in this section shall be construed to require a licensee to:
1. Enter any area or perform any procedure that is, in the opinion of the licensee, unsafe and likely to be dangerous to the inspector or other persons;
 2. Enter any area or perform any procedure that will, in the opinion of the licensee, likely damage the property or its systems or components;
 3. Enter any area which does not have at least 24 inches of unobstructed vertical clearance and at least 30 inches of unobstructed horizontal clearance;
 4. Identify concealed conditions and latent defects;
 5. Determine life expectancy of any system or component;
 6. Determine the cause of any condition or deficiency;
 7. Determine future conditions that may occur including the failure of systems and
 8. Determine the operating costs of systems or components;
 9. Determine the suitability of the property for any specialized use;
 10. Determine compliance with codes, regulations and/or ordinances;
 11. Determine market value of the property or its marketability;
 12. Determine advisability of purchase of the property;
 13. Determine the presence of any potentially hazardous plants, animals or diseases or the presence of any suspected hazardous substances or adverse conditions such as mold, fungus, toxins, carcinogens, noise, and contaminants in soil, water, and air;
 14. Identify the presence of, or determine the effectiveness of, any system installed or method utilized to control or remove suspected hazardous substances;
 15. Operate any system or component which is shut down or otherwise inoperable;

16. Operate any system or component which does not respond to normal operating

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controls;

17. Operate shut-off valves;
18. Determine whether water supply and waste disposal systems are public or private;
19. Insert any tool, probe or testing device inside electrical panels;
20. Dismantle any electrical device or control other than to remove the covers of main and sub panels;
21. Inspect, identify, or disclose ancillary electrical devices and/or systems, such as, but not limited to, Arc Fault Circuit Interrupters (AFCIs), standby generators, and photovoltaic (solar) panels;
22. Walk on unfloored sections of attics; and
23. Light pilot flames or ignite or extinguish fires.

(c) Licensees shall:

1. Inspect the following systems and components in residential buildings and other related residential housing components:

- i. Structural components as required by (e) below;
- ii. Exterior components as required by (f) below;
- iii. Roofing system components as required by (g) below;
- iv. Plumbing system components as required by (h) below;
- v. Electrical system components as required by (i) below;
- vi. Heating system components as required by (j) below;
- vii. Cooling system components as required by (k) below;
- viii. Interior components as required by (l) below;
- ix. Insulation components and ventilation system as required by (m) below; and
- x. Fireplaces and solid fuel burning appliances as required by (n) below;

2. Prepare a home inspection report, which shall:

- i. Disclose those systems and components as set forth in (c)1 above which were present at the time of inspection;
- ii. Disclose systems and components as set forth in (c)1 above that were present at the time of the home inspection, but were not inspected, and the reason(s) they were not inspected:

(1) If a system and/or component was present at the time of inspection, but not inspected at the request of the client or because the system or component could not be observed, the report must note this.

- iii. Describe the systems and components specified in (c)1 above;
- iv. State material defects found in systems or components specified in (c)1 above;
- v. State the significance of findings where any material defects in the systems and components of (c)1 above were found; and
- vi. Provide recommendations where material defects were found to repair, replace, or monitor a system or component specified in (c)1 above or to obtain examination and analysis by a qualified professional, tradesman, or service technician without determining the methods, materials, or cost of corrections; and

3. Retain copies of all home inspection reports prepared pursuant to (c)2 above, for a period of five years upon completion of the report;

(d) Subsection (c) above is not intended to limit licensees from:

1. Inspecting or reporting observations and conditions observed in systems and components in addition to those required in (c)1 above and inspecting systems and components other than those mandated for inspection in (c)1 above, as long as the inspection and reporting is based on the licensee's professional opinion, prior work experience, education, and training, unless these standards of practice prohibit the

licensee from inspecting such systems or components.

2. Contracting with the client to provide, for an additional fee, additional inspection

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services provided the licensee is educated, trained, certified, registered, or licensed, pursuant to the provisions of N.J.A.C. 13:40-15.21 and other applicable statutes and rules; and

3. Excluding systems and components from the inspection pursuant to N.J.A.C.

(e) When conducting the inspection of the structural components, the licensee shall:

1. Inspect:

- i. Foundation;
- ii. Floors;
- iii. Walls;
- iv. Ceilings; and
- v. Roof;

2. Describe:

- i. Foundation construction type and material;
- ii. Floor construction type and material;
- iii. Wall construction type and material;
- iv. Ceiling construction type and material; and
- v. Roof construction type and material;

3. Probe structural components where deterioration is suspected unless such probing would damage any finished surface; and

4. Describe in the home inspection report the methods used to inspect under-floor crawl spaces and attics.

(f) When conducting the inspection of the exterior components, a licensee shall:

1. Inspect:

- i. Exterior surfaces, excluding shutters, and screening, awnings, and other similar seasonal accessories;
- ii. Exterior doors excluding storm doors or safety glazing;
- iii. Windows excluding storm windows and safety glazing;
- iv. Attached or adjacent decks, balconies, stoops, steps, porches, and their railings;
- v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;
- vi. Attached or adjacent walkways, patios, and driveways; and
- vii. Garage doors including automatic door openers and entrapment protection mechanisms, excluding remote control devices; and

2. Describe exterior wall surface type and material.

(g) When inspecting the roof of a residential building, the licensee shall:

1. Inspect:

- i. Roofing surface, excluding antennae and other installed accessories such as solar heating systems, lightning arresters, and satellite dishes;
- ii. Roof drainage systems;
- iii. Flashing;
- iv. Skylights; and
- v. Exterior of chimneys;

2. Describe:

- i. Roof surface;
- ii. Deficiencies of the roof drainage systems;

- iii. Deficiencies in the flashing;
- iv. Skylights; and
- v. Chimneys;

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- 3. Employ reasonable, practicable, and safe methods to inspect the roof, such as:
 - i. Walking on the roof;
 - ii. Observation from a ladder at roof level;
 - iii. Visual examination with binoculars from ground level; or
 - iv. Through the use of a drone or similar unmanned aircraft systems (consistent with applicable State or Federal laws, rules, and regulations on licensure or certification requirements for the commercial use of drones or similar unmanned aircraft systems); and
- 4. Describe the methods used to inspect the roof.

(h) When inspecting the plumbing system, a licensee shall:

- 1. Inspect:
 - i. Interior water supply and distribution systems including functional water flow and functional drainage, excluding wells, well pumps, well water sampling or water storage related equipment, determination of water supply quantity or quality and water conditioning systems and lawn irrigation systems;
 - ii. All interior fixtures and faucets, excluding shut off valves, wells, well pumps, well water sampling and water storage related equipment;
 - iii. Drain, waste and vent systems;
 - iv. Domestic water heating systems, without operating safety valves or automatic safety controls, and excluding solar water heating systems;
 - v. Combustion vent systems excluding interiors of flues and chimneys;
 - vi. Fuel distribution systems; and
 - vii. Drainage sumps, sump pumps and related piping; and
- 2. Describe:
 - i. Predominant interior water supply and distribution piping materials, including the presence of lead water service and/or supply piping;
 - ii. Predominant drain, waste and vent piping materials; and
 - iii. Water heating equipment including energy sources.

(i) When inspecting the electrical system, a licensee shall:

- 1. Inspect:
 - i. Service entrance system;
 - ii. Main disconnects, main panel and sub panels, including interior components of main panel and sub panels;
 - iii. Service grounding;
 - iv. Wiring, without measuring amperage, voltage or impedance, excluding any wiring not a part of the primary electrical power distribution system, such as central vacuum systems, remote control devices, telephone or cable system wiring, intercom systems, security systems and low voltage wiring systems;
 - v. Over-current protection devices and the compatibility of their ampacity with that of the connected wiring;
 - vi. At least one of each interior installed lighting fixture, switch, and receptacle per room and at least one exterior installed lighting fixture, switch, and receptacle per side of house; and
 - vii. Ground fault circuit interrupters; and
- 2. Describe:
 - i. Amperage and voltage rating of the service;
 - ii. Location of main disconnect, main panels, and sub-panels;

- iii. Type of over-current protection devices;
- iv. Predominant type of wiring;
- v. Presence of knob and tube branch circuit wiring; and
- vi. Presence of solid conductor aluminum branch circuit wiring.

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(j) When inspecting the heating system, a licensee shall:

1. Inspect:

- i. Installed heating equipment and energy sources, without determining heat supply adequacy or distribution balance, and without operating automatic safety controls or operating heat pumps when weather conditions or other circumstances may cause damage to the pumps, and excluding humidifiers, electronic air filters and solar heating systems;
- ii. Combustion vent systems and chimneys, excluding interiors of flues or chimneys;
- iii. Fuel storage tanks, excluding propane and underground storage tanks; and
- iv. Visible and accessible portions of the heat exchanger; and

2. Describe:

- i. Heating equipment and distribution type; and
- ii. Energy sources.

(k) When inspecting the cooling system, a licensee shall:

1. Inspect:

- i. Central cooling system, excluding electronic air filters and excluding determination of cooling supply adequacy or distribution balance and without operating central cooling equipment when weather conditions or other circumstances may cause damage to the cooling equipment;
- ii. Permanently installed hard-wired, through-wall individual cooling systems; and
- iii. Energy sources; and

2. Describe:

- i. Cooling equipment and distribution type; and
- ii. Energy sources.

(l) When inspecting the interior of a residential building, a licensee shall:

1. Inspect:

- i. Walls, ceilings, and floors excluding paint, wallpaper and other finish treatments, carpeting and other non-permanent floor coverings;
- ii. Steps, stairways, and railings;
- iii. Installed kitchen wall cabinets to determine if secure;
- iv. At least one interior passage door and operate one window per room excluding window treatments; and
- v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer.

(m) When inspecting the insulation components and ventilation system of a residential building, the licensee shall:

1. Inspect:

- i. Insulation in unfinished spaces without disturbing insulation;
- ii. Ventilation of attics and crawlspaces; and
- iii. Mechanical ventilation systems; and

2. Describe:



- i. Insulation in unfinished spaces adjacent to heated areas; and
- ii. Evidence of inadequate attic and crawlspace ventilation.

(n) When inspecting fireplaces and solid fuel burning appliances, a licensee shall:

1. Inspect:

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- i. Fireplaces and solid fuel burning appliances, without testing draft characteristics, excluding fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and non-structural fireplace surrounds, combustion make-up air devices, or gravity fed and fan assisted heat distribution systems; and
 - ii. Chimneys and combustion vents excluding interiors of flues and chimneys; and
2. Describe:
- i. Type of fireplaces and/or solid fuel burning appliances;
 - ii. Energy source; and
 - iii. Visible evidence of improper draft characteristics.

N.J. Admin. Code § 13:40-15.16

Amended by 52 N.J.R. 46(a), effective January 6, 2020

INSPECTOR CREDENTIALS

NJ Home Inspector License # _____